

NOTE
 1. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 2. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

NEW HANOVER COUNTY
 BOOK 5330 PAGE 1661
 ID # R05708-004-019-000
 ZONED RB

TWO TEN INVESTORS INC.
 BOOK 5324 PAGE 544
 ID # R05713-004-002-000
 ZONED O&I

EASTWOOD ROAD VARIABLE WIDTH RIGHT OF WAY

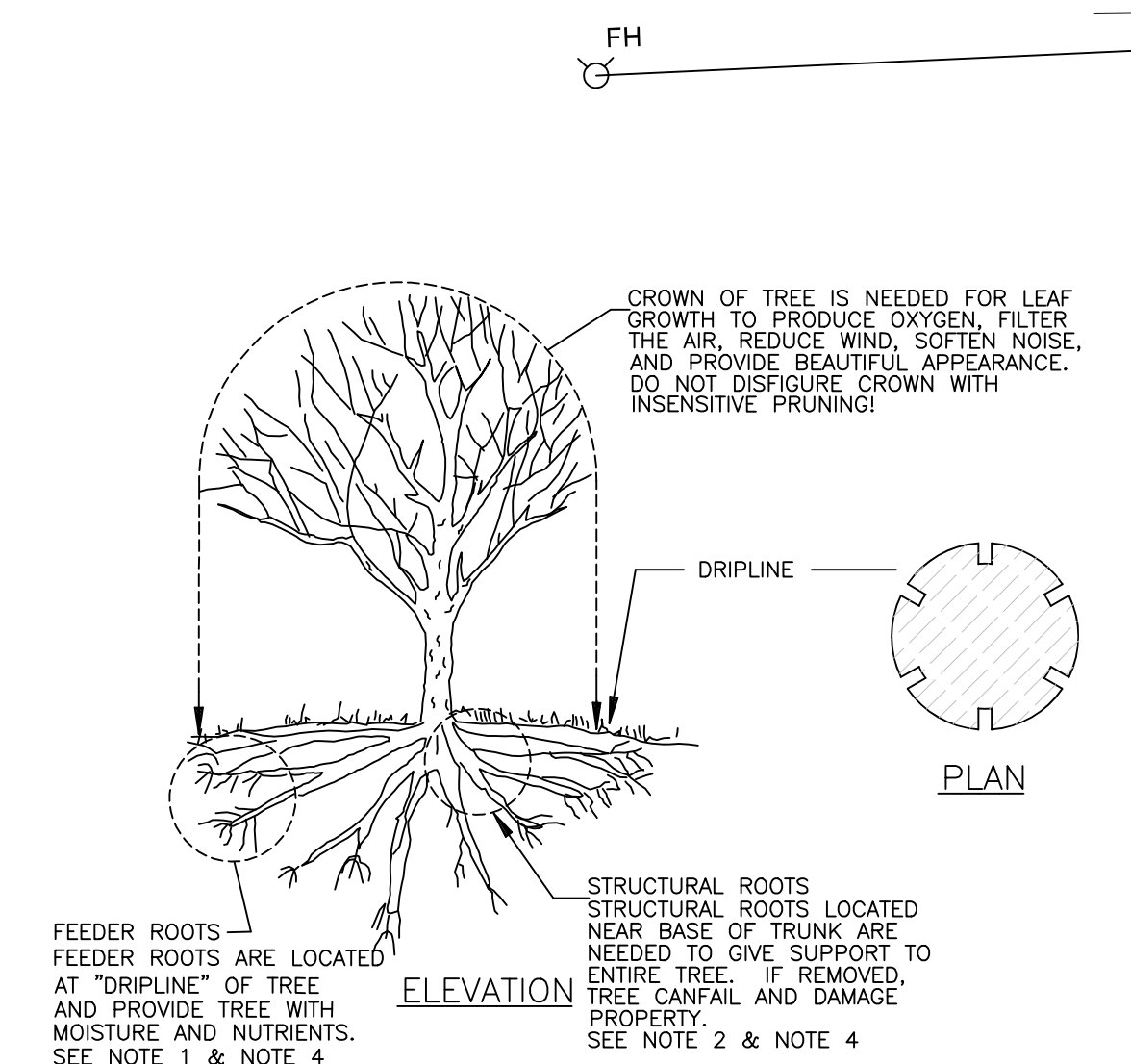
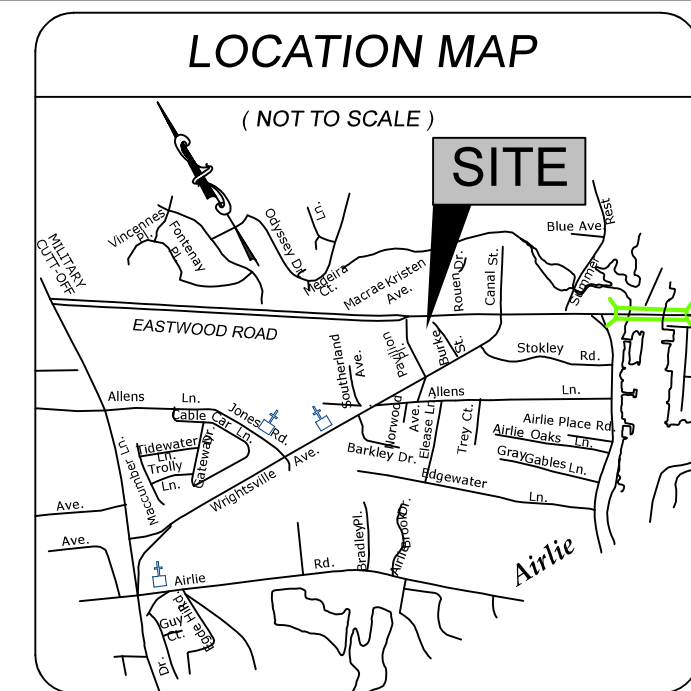
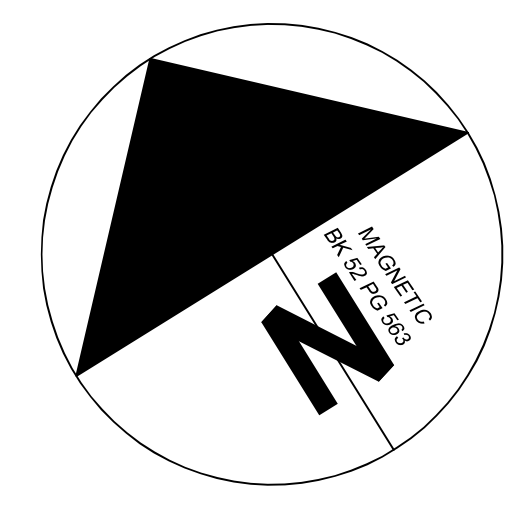
Approved Construction Plan

Name _____ Date _____

Planning _____

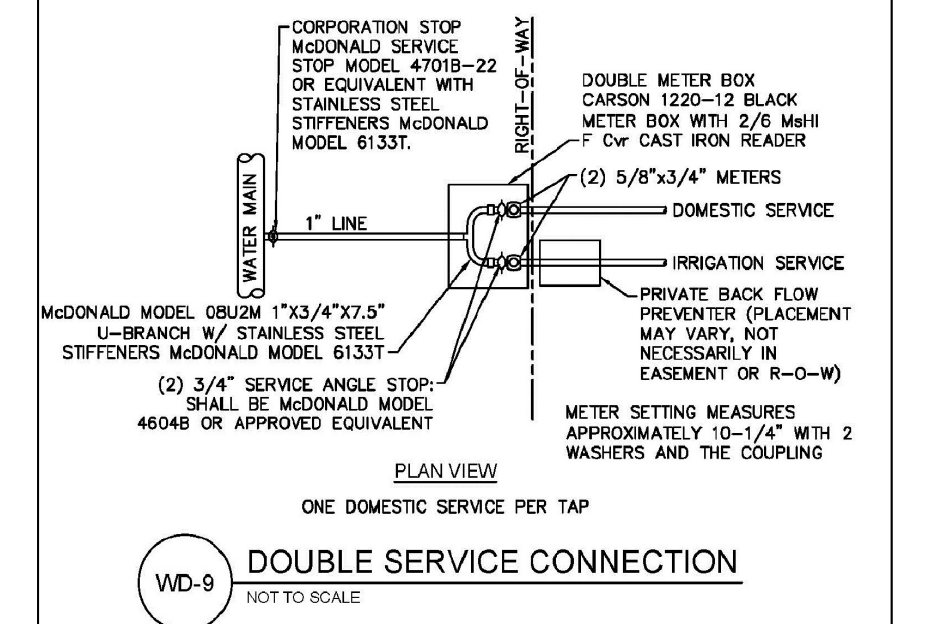
Traffic _____

Fire _____

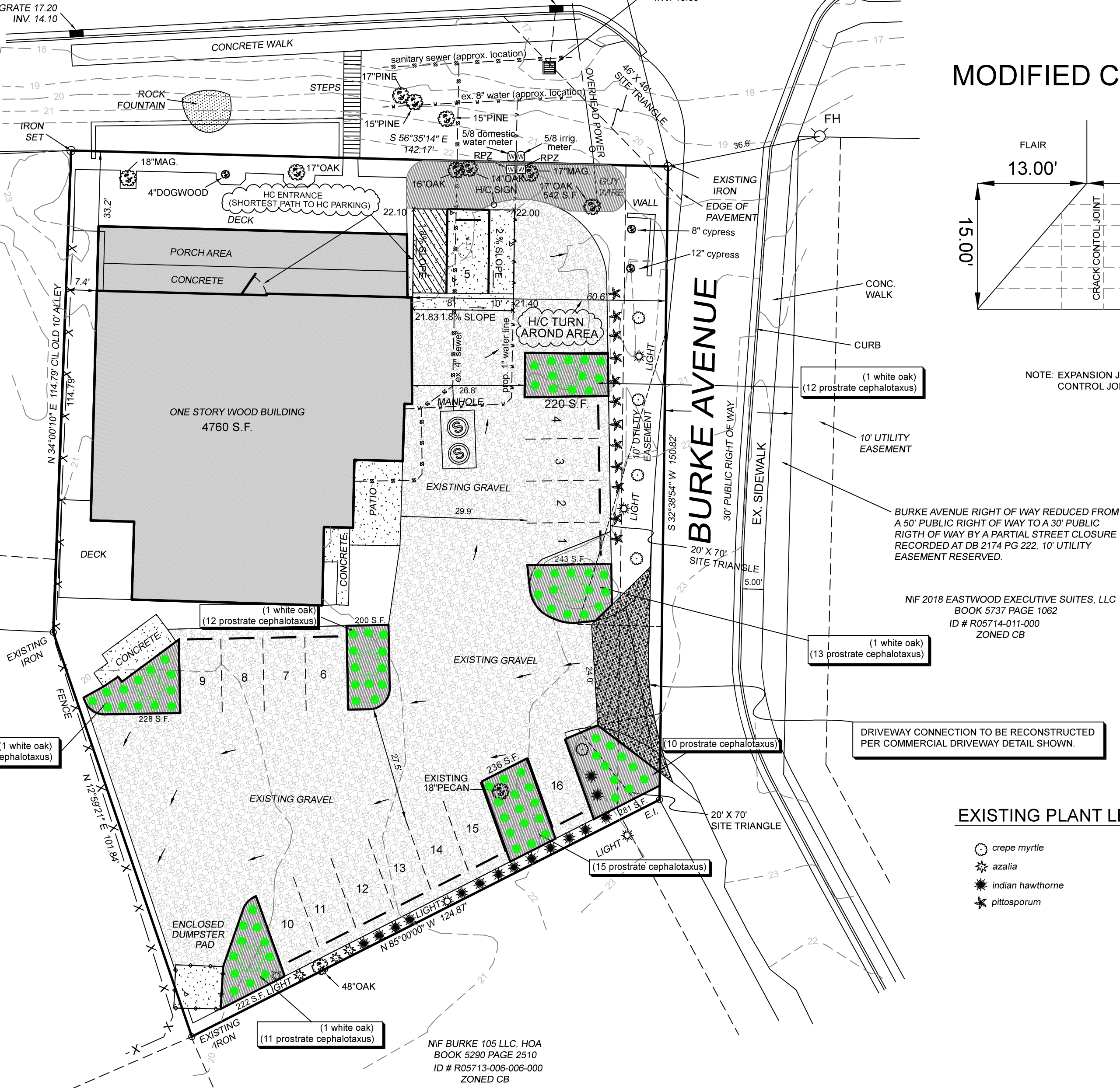
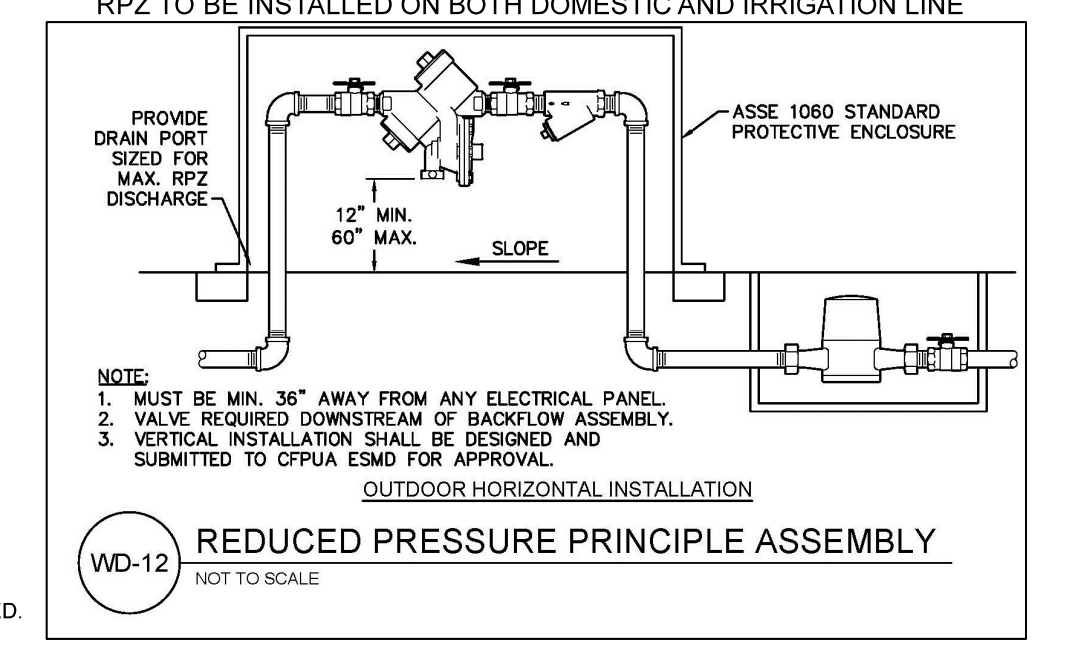


- TREE PROTECTION DURING CONSTRUCTION**
- DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTATION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE FEEDING ROOTS OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.
 - NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PAVING OR BUILDING WHICH IS BEING CONSTRUCTED.
 - AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.

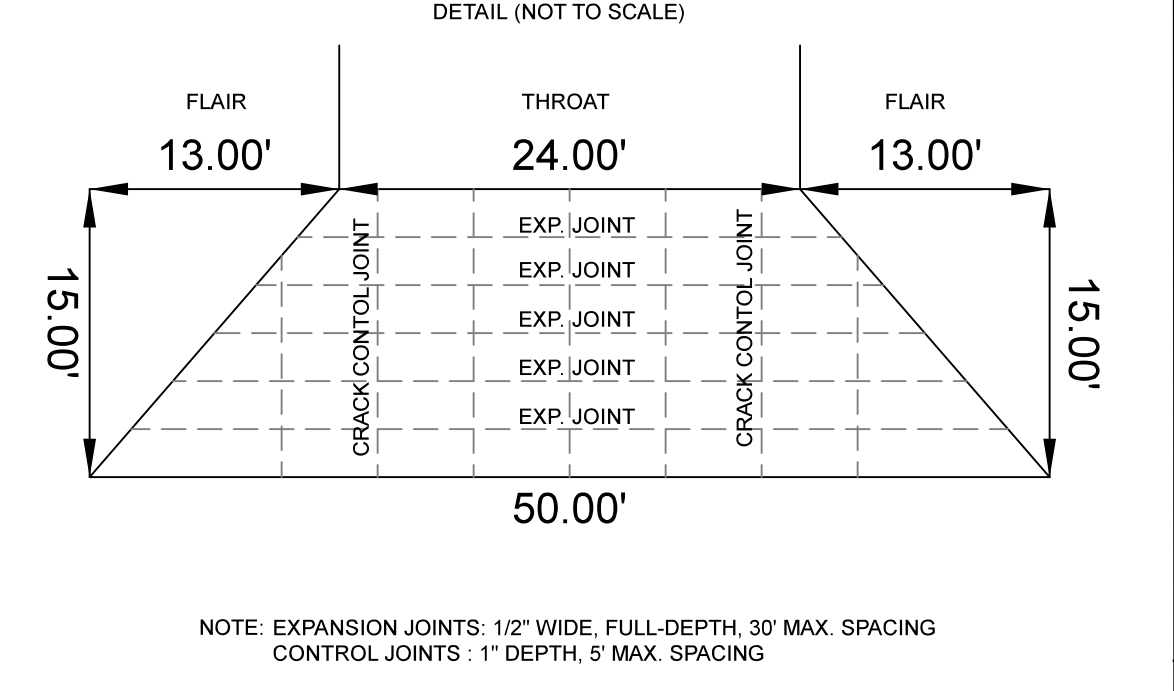
CFPUA STANDARD DETAIL



CFPUA STANDARD DETAIL (RPZ)



MODIFIED COMMERCIAL DRIVEWAY



NOTE: EXPANSION JOINTS: 12" WIDE, FULL-DEPTH, 30" MAX. SPACING
 CONTROL JOINTS: 1" DEPTH, 5" MAX. SPACING

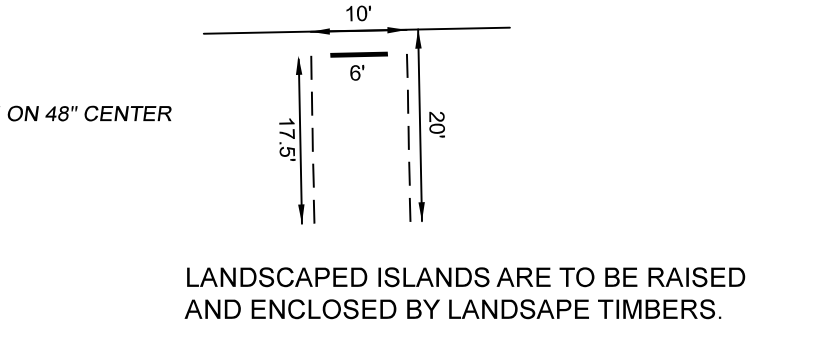
EXISTING PLANT LEGEND

- crepe myrtle
- ✱ azalea
- ✱ indian hawthorne
- ✱ pittosporum

PROPOSED PLANT LEGEND

- QUERCUS ALBA (WHITE OAK) 3" CAL.
- CEPHALOTAXUS HARRINGTON 'PROSTRATA' (PROSTRATE CEPHALOTAXUS) 18" MIN. SPACE ON 48" CENTER

TYPICAL PARKING SPACE



METHOD OF TREE PROTECTION DURING CONSTRUCTION

- SD 15-09
 NOT TO SCALE
- AREA COMPUTED BY COORDINATE METHOD
 - ALL DISTANCE S ARE HORIZONTAL
 - FOR REFERENCE SEE BOOK 5634 PAGE 2409 & BOOK 4105 PAGE 590 (DRAINAGE EASEMENT)
 - SURVEYED NOV. 2017
 - 25,381 SQ. FT. 0.58 ACRE TOTAL AREA
 - PROPERTY LINES ESTABLISHED FROM EXISTING EVIDENCE AND RECORD INFORMATION

- LEGEND**
- FH EXISTING FIRE HYDRANT
 E.I.P. = EXISTING IRON PIPE
 E.I. = EXISTING IRON
 E.C.M. = EXISTING CONCRETE MONUMENT
 R.W. = RIGHT OF WAY
 C.P. = COMPUTED POINT
- PROPERTY LINE**
- CENTERLINE**
- EASEMENT**
- COMPUTED PROPERTY LINE**
- FENCE**
- SURFACE DRAINAGE FLOW**
- PROPOSED LANDSCAPE AREAS**
- ADDITIONAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. (DETAIL SD 11-03 AND SD 15-13 C OF W TECH STDS.)
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS (DETAIL SD 15-13 C OF W TECH STDS.)
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBS WILL BE REPLACED.

PRELIMINARY PLAN

SITE PLAN FOR CHANGE OF USE
JM EASTWOOD LLC
 EVOLVE CONSTRUCTION OFFICE RENOVATION
 LOCATED IN THE CITY OF WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

JM EASTWOOD LLC
 2012 EASTWOOD ROAD
 WILMINGTON, N.C.

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FLORAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-8022
 LICENSE # C-0597

Date: 8-15-18
 Scale: HORZ.: 1" = 20'
 Drawn: GW
 Checked: GW
 Project No: 12545
 Sheet No: 1
 Of: 1

REV. NO.	REVISIONS	DATE

